



## 21 Hallfield Close

Flint, CH6 5HL

Offers Around £160,000



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## Accommodation Comprises:

Upvc double glazed door with decorative panel opens to:

## Enclosed Porch

Traditional quarry floor tiles, wooden door with frosted panel and side panel opens to:

## Reception Hall

Stairs leading to the first floor accommodation, wall mounted central heating thermostat, single panelled radiator and doors into;

## Lounge

14'0" x 11'8" (4.27 x 3.57)

Upvc double glazed window to the front elevation, original tiled surround with hearth (gas fire disconnected) textured and coved ceiling and double panelled radiator.

Wooden doors with frosted panels opens into:

## Dining Room

11'7" x 9'1" (3.55 x 2.78)

Upvc double glazed window to the rear elevation overlooking the rear garden. double panelled radiator and textured ceiling.

Door into;

## Kitchen

11'8" x 8'11" (3.58 x 2.73)

Housing a range of wall and base units with work surfaces over, stainless steel sink and drainer unit, Upvc double glazed window to the rear elevation, space for fridge/freezer, void and plumbing for washing machine and freestanding cooker, wall

mounted central heating Ideal C30 boiler, built in under stairs storage cupboard, vinyl flooring and Upvc double glazed stable door opening to the side garden.

## First Floor Accommodation

### Landing

Loft access hatch, Upvc double glazed window to the side elevation and doors leading into:

### Bedroom One

14'2" x 10'9" (4.32 x 3.29)

Upvc double glazed window to the front elevation, single panelled radiator and built in storage cupboards/wardrobe space.

### Bedroom Two

10'9" x 9'7" (3.30 x 2.94)

Upvc double glazed window to the rear elevation, single panelled radiator and two built in storage cupboards/wardrobes.

### Bedroom Three

10'8" x 7'5" (3.26 x 2.27)

Upvc double glazed window to the front elevation, single panelled radiator and built in storage cupboard over the head of the stairs.

## Bathroom

Three piece suite comprising: Panelled bath with shower attachment over, low level flush w/c and pedestal wash hand basin, tiled walls, vinyl flooring, single panelled radiator and Upvc double glazed frosted window to the rear elevation.

## Outside

The property is approached via a driveway which

provides off road parking and a paved pathway which leads to the front and side entrance to the property. The front garden has been laid with lawn. The garden to the rear of the property.

### To Arrange A Viewing

Strictly by prior appointment through Reid & Roberts Estate Agents. Telephone Flint 01352 762300. Do you have a house to sell? Ask a member of staff for a FREE VALUATION without obligation.

### Mortgage Advice

Reid & Roberts Estate Agents can offer you a full range of Mortgage Products and save you the time and inconvenience of trying to get the most competitive deal for yourself. We deal with all major Banks and Building Societies and can look for the most competitive rates around. For more information please call 01352 762300.

**YOUR HOME MAY BE REPOSESSED IF YOU DO NOT KEEP UP REPAYMENTS**

### To Make An Offer

Once you are interested in buying this property, contact this office to make an appointment. The

appointment is part of our guarantee to the seller. Any delay may result in the property being sold to someone else, and survey and legal fees being unnecessarily incurred.

### Opening Hours

Monday - Friday 9:00am - 5:30pm  
Saturday 9:00am - 4:00pm

These particulars, whilst believed to be accurate are set out as a general outline only. No responsibility can be accepted for the accuracy of the description or measurements, these are intended as a guide only. Any appliances mentioned have not been tested and Reid and Roberts accept no responsibility for their working order and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.



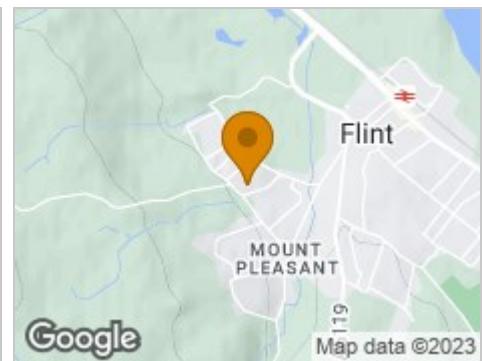
## Road Map



## Hybrid Map



## Terrain Map



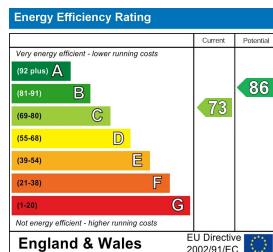
## Floor Plan



## Viewing

Please contact our Reid & Roberts - Flint Office on 01352 762300 if you wish to arrange a viewing appointment for this property or require further information.

## Energy Efficiency Graph



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